
F/YR23/0940/F

**Applicant: Mr Sim Man
Minster Property Group**

**Agent : Mr Jake Stentiford
Surface Planning**

Land West And South Of 74, West Street, Chatteris, Cambridgeshire

Erect 70 x dwellings (29 x 2-bed 2-storey, 29 x 3-bed 2-storey, 6 x 4-bed 2-storey and 6 x 2-bed single-storey)

Officer recommendation: Grant subject to legal agreement

Reason for Committee: Number of representations received contrary to the Officer recommendation

Government Planning Guarantee

Statutory Target Date For Determination: 12 February 2024

EOT in Place: Yes

EOT Expiry: 15 January 2025

Application Fee: £25,619

Risk Statement:

This application must be determined by 15 January 2025 otherwise it will be out of time and therefore negatively affect the performance figures.

1 EXECUTIVE SUMMARY

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| <p>1.1 The site comprises approximately 3 hectares of grassland on the western side of the town of Chatteris. A new vehicular access is proposed to be taken from West Street on the eastern boundary at the southern end of the site.</p> <p>1.2 The application is submitted in full for 70 no. affordable homes along with estate roads, private drives, parking, landscaping, areas of public open space (including a Local Equipped Area of Play), and drainage infrastructure including two attenuation basins and a pump station.</p> <p>1.3 The application site is not allocated for development in the Local Plan but permission for a residential scheme for 58 houses has been granted on this site but has expired. However, the principle of a housing development would accord with the Spatial Strategy as set out in policy LP3 of the adopted Local Plan. Whilst the housing proposed would further exceed the approximate housing figure for Chatteris given in Part A of Local Plan policy LP4, this would not in itself be contrary to that part of the policy and would further increase supply and provide much needed affordable dwellings. The number of homes applied for in this location is acceptable and is therefore in conformity with Part B of policy LP4 of the adopted Local Plan.</p> |
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- 1.4 The site layout, building design and amenity considerations are considered acceptable, together with other matters reviewed by consultees in relation to highways, flooding, drainage and environmental health matters. The Council's adopted Developer Contributions Supplementary Planning Document allows for affordable housing schemes to be granted without planning obligations for other community infrastructure.
- 1.5 Having regard to national and local planning policies, and all comments received, and subject to the signing of the Section 106 legal agreement, it is considered that the proposal would, on balance, amount to sustainable development and would accord with the Development Plan taken as a whole. There are no material considerations worthy of sufficient weight that indicate that a decision should be made other than in accordance with the Development Plan.
- 1.6 Accordingly, the conclusion reached is that the development should be approved.

2 SITE DESCRIPTION

- 2.1 The application site currently comprises an area of grassland extending to 2.98 hectares. Bounding the application site is Chatteris Town FC ground to the north, residential properties along West Street to the east, the Twenty Foot Drain and adjoining vegetation to the west, and the boundary of a residential curtilage (84 West Street) as well as fields/paddocks to the south.
- 2.2 The land has previously been used for horse grazing, and there are several small disused structures located across the site. A number of drainage ditches run across the site. The existing ground cover largely consists of bramble scrub. There are a number of existing trees on the site which are evaluated in the accompanying Arboricultural Implications Assessment.
- 2.3 Areas of the site on the western side are located with Flood Zone 3 whilst the majority of the land in the centre and to the east are within Flood Zone 1.

3 PROPOSAL

- 3.1 The application is submitted in full for 70 no. affordable homes along with estate roads, private drives, parking, landscaping, areas of public open space (including a Local Equipped Area of Play), and drainage infrastructure including two attenuation basins and a pump station.
- 3.2 The proposed development will comprise 100% affordable homes, with a mix of tenures including affordable home ownership and affordable rent based on a tenure blind design approach. The registered provider would retain ownership of public areas of the site which would ensure that areas of public open space and landscaping are properly maintained for the long term.

- 3.3 The scheme proposes a mix of housing types and sizes comprising 2, 3 & 4 bedroom houses and bungalows based on the following schedule of accommodation:

schedule of accommodation

housetype	code	area	quantity
2B4P House	A	70m ²	22 no. units
2B4P House	B	74m ²	07 no. units
3B5P House	C	82m ²	12 no. units
3B5P Det. House	D	90m ²	04 no. units
3B5P Det. House	E	90m ²	03 no. units
4B6P House	F	96m ²	06 no. units
2B3P Bungalow	G	60m ²	04 no. units
2B3P Bungalow	H	63m ²	02 no. units
3B5P House	J	88m ²	10 no. units
Total Number of Units			70 no. units
approximate site area :	2.98Ha / 7.36 acres		
density :	23.2 dwellings per hectare		
open space	0.765Ha		

- 3.4 The applicant states that the scheme has been designed to achieve an attractive, green neighbourhood character, with extensive public landscaping, tree planting including tree-lined streets, providing, attractive green frontages throughout the site. A varied materials palette has been employed, using a number of distinct material combinations in order to provide variety and visual interest throughout the development.
- 3.5 The proposed landscaping details incorporate native species selected to maximise the biodiversity potential of the proposed areas of shrub planting, native hedgerows, amenity grass areas and wildflower seeded areas, with extensive tree planting across a total area of 7,650sqm of public open space, comprising more than 25% of the total site area.
- 3.6 Primary vehicular and pedestrian access to the site is from West Street near the junction with Gibside Avenue to the north, with an additional pedestrian connection that is proposed to be provided at the northern end of the site via the existing access to the Chatteris Town FC ground.
- 3.7 Full plans and associated documents for this application can be found at: <https://www.publicaccess.fenland.gov.uk/publicaccess/>

4 SITE PLANNING HISTORY

Reference	Description	Decision
23/0011/PREAPP	Erect 70 dwellings	Favourable
F/YR17/0591/RM	Reserved matters application relating to the detailed matters of appearance, landscaping, layout and scale pursuant to outline permission F/YR15/0512/O for the erection of 58 x 2-storey dwellings and 3 x single storey dwellings comprising of: 3 x 1 bed, 8 x 2-bed, 19 x 3-bed, 25 x 4-bed and 3 x 5-bed with associated garages, parking and landscaping.	Approved
F/YR15/0512/O	Residential Development (58 dwellings max) involving demolition of existing storage building.	Granted

5 CONSULTATIONS – SUMMARY OF RESPONSES RECEIVED

5.1 Chatteris Town Council

5/6/2024

Latest response following initial comments made 06/12/2023. *Support in principle development of the site but members are concerned about the density and do not agree to 70 dwellings. They are concerned about the impact on surrounding roads, in particular West Street and the junction of West Street and Huntingdon Road, and the greater loss of green space and biodiversity. Members are also concerned about the drainage arrangements and potential for flooding. If approved request mini roundabout at junction of West Street and Huntingdon Road and Section 106 contribution towards outdoor leisure facilities.*

5.2 Housing Strategy & Enabling Officer

17/11/2023

State that they are pleased to see that Minster Property Group are looking to deliver the proposal as a 100% wholly affordable housing scheme that delivers a range of dwelling types and sizes are proposed for the site, comprising of 2, 3 & 4 bedroom houses and bungalows in order to accommodate a variety of households. The exact tenure mix is to be decided through discussion with the local authority and informed by the latest Government guidance and latest SHMA and they recommend early discussion on this matter.

5.3 Cambridgeshire Fire Service

20/11/2023

State that should the Planning Authority be minded to grant approval, the Fire Authority would ask that adequate provision be made for fire hydrants, which may

be by way of Section 106 agreement or a planning condition. Where a Section 106 agreement or a planning condition has been secured, the cost of Fire Hydrants will be recovered from the developer.

5.4 NHS Cambridgeshire & Peterborough Integrated Care System (ICS)

23/11/2023

The proposed development is likely to have an impact on the services of the GP Practice operating within the vicinity of the application (George Clare Surgery) which does not have capacity to take on additional patients. A developer contribution will therefore be required to mitigate the impacts of this proposal. CAPICS calculates the level of contribution required, in this instance to be £58,174.46 (11.14sqm at £5224 per sqm).

5.5 Anglia Water

30/05/2024 – latest response

Three comments received, latest response dated above which states that the foul drainage from this development is in the catchment of Chatteris-Nightlayer Fen Water Recycling Centre that will have available capacity for these flows. Recommend a number of informatives should the application be granted consent.

5.6 Environment Agency

07/12/2023

Note that all built development has been proposed within the Flood Zone 1 areas within the red line boundary and are therefore satisfied with the proposed development. Regarding the Flood Risk Sequential Test, advise that it is for the Local Planning Authority to determine if the sequential test has to be applied and whether or not there are other sites available at lower flood risk. Having reviewed the submitted Flood Risk Assessment with regard to tidal and designated main river flood risk sources they consider that the site is at low risk of flooding from these sources. As such, they have no objection to the proposed development on flood risk grounds.

5.7 Local Lead Flood Authority

6/11/2024

Final response following five earlier representations objecting to the proposals resulting in the submission of further details and information. Latest response states that Lead Local Flood Authority (LLFA) now have no objection in principle to the proposed development. They state the submitted documents demonstrate that surface water from the proposed development can be managed through the use of permeable paving and two linked attenuation basins, restricting surface water discharge to QBAR. The LLFA is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site it also provides water quality treatment which is of particular importance when discharging into a watercourse. Attenuation basins provide amenity whilst the inclusion of micropools enhances biodiversity and water quality. Water quality has been adequately addressed when assessed against the Simple Index Approach outlined in the CIRIA SuDS Manual.

Latest response also recommends conditions are imposed regarding detailed design of the surface water drainage, run off prevention during construction and

survey of drainage system prior upon completion. A number of informatives are also recommended.

5.8 FDC Environmental Health

24/5/2024

Note and accept the latest submitted information and have 'No Objections' to the revisions. The content of the Residential Planning Noise Assessment (Ref: 100967-R01 Version 2) has been acknowledged and is accepted.

State that previous comments provided by them in respect of amenity protection are still valid. Earlier comments received recommend the submission of a robust Construction Environmental Management Plan (CEMP) covering all aspects of the construction and a vibration impact assessment in the event piling is required. A condition will be required to ensure that in the event planning consent is granted, the recommended noise mitigation measures are then implemented into the design to ensure adequate protection for future residents. Whilst ground contamination isn't expected to be an issue, due to the removal of existing structure(s), it would however be prudent to impose the a condition for unsuspected contamination should planning permission is granted.

5.9 CCC - Definitive Map Team

6/12/2023

Public Bridleway No. 30, Chatteris, runs to the west of the application site. Request that in line with our guidance for developers, any new trees or hedging must have an offset distance of 2 metres from the Public Right of Way. Whilst the Definitive Map Team has no objection to this proposal, they state the Bridleway must remain open and unobstructed at all times and their response includes a number of informatives for any permission issued.

5.10 FDC Tree Officer

26/09/2024

Updated response following initial comments - no objection to the tree removal proposals and agree with the low category categorisation. The arboricultural report provides some protection details and that it is achievable, but this needs to be more robust if approved to give clear direction to the people reading it. If the LPA are minded to approve, suggest conditioning a more robust tree protection method statement, to include arboricultural supervision times.

Within the proposed landscaping the tree and shrub species are acceptable, however, consider some species locations such as Sorbus adjacent to areas where berry drop could create a slip hazard and nuisance need to be considered to be set back further or changed for an alternative species to prevent these issues resulting in the trees being removed by residents in the future. Where Prunus species are shown close to hard surfacing, their root growth characteristic can cause displacement damage as they mature, so root deflectors need to be installed or again, consideration given to the space available for tree planting, the trees future maturity size and attributes such as berries, shading, canopy spread etc. Fastigate trees might need to be considered where space restrictions are limited. Would suggest these issues are considered to plan for harmonious development of the planting in relation to the positioning of the scheme, to ensure

continuous retention of the trees and shrubs so they do not become a problem for future residents where they may remove them.

5.11 East of England Ambulance Service

05/01/2024

Development would affect March, Ely and St Ives Ambulance Stations. Additional residents resulting would require additional facilities and a requested contribution towards these has been calculated at £22,890.

5.12 CCC Education and Library Infrastructure

08/12/2023

The development would require contributions towards early year, primary and secondary education that in combination amount to £714,772. In addition, the development would need to pay the following library and lifelong learning contribution and would therefore need to contribute £10,325 (£59 per head of population x 175 new residents).

5.13 Cambridgeshire Constabulary - Designing Out Crime Officer

29/11/2023

Response states that this generally appears to be an acceptable layout in relation to crime prevention and the fear of crime, providing reasonable levels of natural surveillance from neighbour's properties with many of the homes facing each other and overlooking open space. Pedestrian and vehicle routes are aligned together and overlooked suggesting that pedestrian safety has been considered, which should encourage some level of territoriality amongst residents. Some of the vehicle parking is in-curtilage between and to the sides of properties. Most of the homes have back-to-back protected rear gardens which reduces the risks and vulnerability to crime and many homes have been provided with some defensible space to their front. Detailed comments provided in relation to external lighting, cycle storage, and rear access footpaths given.

5.14 CCC Highways – Development Control

10/10/2024

Final response following two earlier representations to the proposals resulting in the submission of further details and information. Latest response states that there are no objections in principle to the application. Recommend conditions be attached concerning footway works, binder course and wheel wash facilities as well as an informative.

5.15 CCC Highways – Transport Assessment Team

24/10/2024

Note that the site is situated within walking and cycling distance to a range of facilities and amenities. There is a gap in the existing pedestrian network between the proposed site access and the existing footway provision on the western side of West Street circa 45m north of the proposed site access. Beyond this, the existing pedestrian network provides suitable access to key facilities within Chatteris. The junction capacity assessments are acceptable for use. The development is not anticipated to cause detriment to the operation of the surrounding network.

The Highway Authority have no objections to the proposals subject to a planning condition requiring, prior to occupation, the developer to be responsible for the provision and implementation of Welcome Travel Packs.

5.16 Wildlife Trust

24/11/2023

The application site is located to the west of the existing settlement. A habitat and species survey report has been prepared, and while it appears to include relevant information the nominated Fenland DC ecological advisor should review this report in detail. The application also includes a brief summary of a Biodiversity Net Gain assessment using the Defra Biodiversity Metric 4.0. but the summary document includes insufficient information for it to be independently reviewed.

5.17 CCC - Ecology Advisory Service

12/12/2024

Note that the submission of the additional information addresses the following points previously raised and are considered resolved: water vole, watercourses and post development BNG.

Welcome update to the Biodiversity Net Gain assessment to incorporate the Open Space for habitat enhancements and reflect our previous comments. The biodiversity metric shows an increase of 12% BNG for habitats and 149% increase in hedgerows. However, the response states they are concerned that the proposed enhancement of the open space (western boundary) from modified grassland to 'other neutral grassland' and 'bramble' to 'mixed scrub' is unlikely to be achieved under the current landscape proposals. Response recommend refusal until updated Landscape Proposals are provided to confirm how other neutral grassland and mixed shrub will be established on Open Space (either in detail, or as an outline with detailed information to be secured through condition).

Following the above response the applicant provided further details which were shared with the County Ecologist. In an email dated 20 December 2024 the Ecologist states they have reviewed the updated landscape proposals (sheet 4) and are satisfied that it reflects proposed enhancements set out in the biodiversity metric and therefore, the biodiversity net gain in BNG (habitats) has the potential to be delivered. The email goes on to say further details of the proposed design of the open space (and other landscape details) would need to be secured through suitable worded conditions to ensure delivery of the BNG targets.

5.18 Local Residents/Interested Parties

Eleven representations have been received (seven from residents of West Street, one each from Blackmill Road, Meadow Close, Fairview Avenue and Willow Tree Close) and objecting to the proposals. The reasons for objection are summarised in the bullet points below:

- No more need for houses, just for commuters and lots of houses for sale;
- Loss of open space;
- Overlooking and overshadowing of bungalows with two storey dwellings proposed, noise issues;
- Site is at risk of flooding and would worsen flooding in the surrounding area;

- Increased congestion on local road on roads which are unsuitable for more traffic. West Street is too narrow, lack of parking means many cars park on pavement making situation worse. Will be difficult for deliveries to the site and for emergency vehicles;
- Lack of infrastructure in area, doctors, dentists, schools, police;
- Devaluation of properties; and
- Bats in area would be impacted.

A petition also signed by 144 residents of Chatteris has been received objecting to the proposals.

One representation has been received from a neighbour enquiring as to the arrangements for his drainage that runs from his property across the site to the mains drainage connection to the west.

6 STATUTORY DUTY

Section 38(6) of the Planning and Compulsory Purchase Act 2004 requires a planning application to be determined in accordance with the Development Plan unless material planning considerations indicate otherwise. The Development Plan for the purposes of this application comprises the adopted Fenland Local Plan (2014) the Cambridgeshire and Peterborough Minerals and Waste Local Plan (2021) and the

7 POLICY FRAMEWORK

National Planning Policy Framework 2024 (NPPF)

Chapter 2 - Achieving sustainable development

Chapter 4 – Decision-making

Chapter 5 – Delivering a sufficient supply of homes

Chapter 8 – Promoting healthy and safe communities

Chapter 9 – Promoting sustainable transport

Chapter 11 – Making effective use of land

Chapter 12 – Achieving well-designed and beautiful places

Chapter 14 – Meeting the challenge of climate change, flooding and coastal change

Chapter 15 – Conserving and enhancing the natural environment

National Planning Practice Guidance (NPPG)

Determining a Planning Application

National Design Guide 2021

Context

Identity

Built Form

Movement

Nature

Public Spaces

Uses

Homes and Buildings

Resources

Lifespan

Fenland Local Plan 2014

- LP1 – A Presumption in Favour of Sustainable Development
- LP2 – Facilitating Health and Wellbeing of Fenland Residents
- LP3 – Spatial Strategy, the Settlement Hierarchy and the Countryside
- LP4 – Housing
- LP5 – Meeting Housing Need
- LP10 – Chatteris
- LP12 – Rural Areas Development Policy
- LP13 – Supporting and Managing the Impact of a Growing District
- LP14 – Responding to Climate Change and Managing the Risk of Flooding in Fenland
- LP15 – Facilitating the Creation of a More Sustainable Transport Network in Fenland
- LP16 – Delivering and Protecting High Quality Environments across the District
- LP17 – Community Safety
- LP19 – The Natural Environment

Cambridgeshire and Peterborough Minerals and Waste Local Plan 2021

- Policy 5 - Mineral Safeguarding Areas
- Policy 10 - Waste Management Areas (WMAs)
- Policy 14 - Waste management needs arising from residential and commercial Development
- Policy 16: -Consultation Areas (CAS)

Delivering and Protecting High Quality Environments in Fenland SPD 2014

- DM2 – Natural Features and Landscaping Schemes
- DM3 – Making a Positive Contribution to Local Distinctiveness and character of the Area
- DM4 – Waste and Recycling Facilities
- DM6 – Mitigating Against Harmful Effects

Developer Contributions SPD 2015

Cambridgeshire Flood and Water SPD 2016

Emerging Local Plan

The Draft Fenland Local Plan (2022) was published for consultation between 25th August 2022 and 19 October 2022, all comments received will be reviewed and any changes arising from the consultation will be made to the draft Local Plan. Given the very early stage which the Plan is therefore at, it is considered, in accordance with Paragraph 48 of the NPPF, that the policies of this should carry extremely limited weight in decision making. Of relevance to this application are policies:

- LP1: Settlement Hierarchy
- LP2: Spatial Strategy for the Location of Residential Development
- LP4: Securing Fenland's Future
- LP5: Health and Wellbeing
- LP7: Design
- LP8: Amenity Provision
- LP11: Community Safety
- LP12: Meeting Housing Needs
- LP14: Gypsies and Travellers and Travelling Showpeople
- LP18: Development in the Countryside

LP20: Accessibility and Transport
LP21: Public Rights of Way
LP22: Parking Provision
LP24: Natural Environment
LP25: Biodiversity Net Gain
LP27: Trees and Planting
LP28: Landscape
LP29: Green Infrastructure
LP31: Open Space and Recreational Facilities
LP32: Flood and Water Management
LP33: Development on Land Affected by Contamination
LP34: Air Quality
LP45: An aspirational community
LP46: Residential site allocations in Chatteris

8 KEY ISSUES

- **Principle of Development**
- **Site layout, building design and amenity considerations**
- **Access, Highways and Transport related matters**
- **Flood risk and drainage**
- **Ecology and Biodiversity Net Gain (BNG)**
- **Affordable housing, community infrastructure and viability matters**

9 BACKGROUND

- 9.1 As noted in Section 4 above, a pre application enquiry was made in relation to an affordable housing scheme at this site. Initially the enquiry was based on a layout showing 86 dwellings. The advice provided by FDC Officers in August 2023 on a revised layout of 70 dwellings stated that this would be a less dense and higher quality scheme. Response went to on to add that whilst there may be technical issues to address from external consultees, the revised layout submitted illustrates that an acceptable scheme for 70 units on the site could be achieved in principle.
- 9.2 Whilst the policies of the emerging Local Plan carry extremely limited weight in decision making, it is relevant to note that the site is shown as being located within the settlement boundary of Chatteris and as a potential site allocation (reference LP46.09) for 58 dwellings. This being on the basis that it and other similar sites had extant planning permission at time of preparing the emerging Local Plan on 1 April 2021. However, the relevant planning permissions references F/YR15/0512/O and F/YR17/0591/RM appear to have expired prior to any lawful implementation.

10 ASSESSMENT

Principle of Development

- 10.1 The development proposes 70 affordable dwellings on an unallocated site on the edge of the market town of Chatteris, accordingly it must initially be assessed against policies LP3 and LP4 of the adopted Local Plan. Policy LP3 sets out a Spatial Strategy, as well as a Settlement Hierarchy and what development is acceptable in the Countryside within Fenland District. In this respect Chatteris is

designated as an 'Other Market Town' under the 'Market Towns' classification of the Spatial Strategy hierarchy that the policy identifies as being settlements where *'The majority of the district's new housing, employment growth, retail growth and wider service provision should take place'*.

10.2 Part A Policy LP4 of the adopted Local Plan identifies housing targets to be built in the district between 2011 and 2031. With respect to Chatteris, the approximate target for this period is 1,600 dwellings. The Council's Planning Policy Team has provided figures that 466 dwellings have been built in Chatteris since 2011, with a further 1,315 having planning consent. Therefore, the approximate target for Chatteris has already been exceeded in respect of completions and planning permissions combined and would be further increased by the dwellings proposed in this application. Also, from a wider District perspective, the Council can demonstrate a 5-year housing land supply.

10.3 In relation to this matter, the findings of a Planning Inspector who decided an appeal for 110 dwellings at Upwell Road in March earlier in the year made the following comments:

'I accept that, the Council being able to demonstrate a 5-year housing land supply, means that there have been homes provided on the ground for local people over and above the identified need. Nevertheless, the PPG states that the standard method for calculating local housing need provides a minimum number. This is echoed in the Framework (paragraphs 61, 76 and 77), and there is no reason that it should be considered a ceiling.'

10.4 Thus, it is considered that further housing beyond the approximate housing figure given in Part A of policy LP4 would not in itself be contrary to that part of the policy; particularly where this could secure the delivery of much needed affordable housing, as supported by the Council's Housing Strategy & Enabling Officer in their response to the application (paragraph 5.2 above)

10.5 Part B, Policy LP4 of the adopted Local Plan then sets out criteria for assessing housing development proposals. In January 2015 the District Council produced a 'Guidance and Clarification Note' in relation to Part B of Policy LP4. This Note sets out the following with respect to new development on non allocated sites in Market Towns other than Strategic Allocations and Broad Locations for Growth:

'For proposals for fewer than 250 dwellings (small scale sites) which are either in or adjacent to a market town and not within a Strategic Allocation or Broad Location, the reader is referred in the first instance to the criteria in Policy LP16 - Delivering and Protecting High Quality Environments across the District. Under Policy LP4 Part B any site for between 1 to 249 dwellings may be considered as having potential for development.'

10.6 As this is proposals is adjacent to a market town and under 249 dwellings it is considered to have the potential for development subject to assessment against the criteria in policy LP16. Policy LP16 of the adopted Plan seeks to ensure high quality environments will be delivered and protected throughout the district and this be achieved by assessing proposed development against 15 criteria where relevant to the proposals under consideration. Consideration of the relevant criteria applicable for this planning application are described under the headings of the remaining 'Key Issues' highlighted below.

10.7 In conclusion, subject to the consideration of matters as described below, the principle of a housing development would accord with the Spatial Strategy as set out policy LP3 of the adopted Local Plan. Whilst the housing proposed would further exceed the approximate housing figure for Chatteris given in Part A of Local Plan policy LP4, this would not in itself be contrary to that part of the policy and would further increase supply and provide much needed on site affordable dwellings. The number of homes applied for in this location is acceptable and is therefore in conformity with Part B of policy LP4 of the adopted Local Plan. Also, material to this matter is the fact that a residential scheme at this site has been granted permission under the policies of current Local Plan, notwithstanding that this permission has lapsed as it was not implemented.

Site layout, building design and amenity considerations

10.8 The applicant states that starting point for the design of the proposed development was the previously approved scheme for 58 dwellings, which was supported and approved by the Local Planning Authority under the currently adopted Local Plan. They state that due to decreased dwelling footprints associated with affordable tenure properties, there is an opportunity to increase the density of the scheme, and therefore its benefits in respect of affordable housing delivery, without substantively impact on the character and street scene of the proposals.

10.9 As described in paragraph 9.1 above, the applicant initially proposed in a pre-application enquiry a scheme of 86 affordable homes with a layout that reflected the overall form of the previously approved scheme. Following initial advice to this pre-application a number of design suggestions were made, including a reduction in front of plot parking, a less regimented layout, the addition of single-storey bungalows, and an overall reduction in density. In response to these comments the applicant carried out an overhaul of the design, which is now put forward in this application, entailing a reduction by 16 units to a total of 70, thereby reducing the density to 23.2 dwellings per hectare. The redesigned scheme as submitted is considered to comprehensively address the key concerns raised in respect of parking, layout and density.

10.10 The scheme includes a good variety of house type designs and a varied materials palette to maintain visual interest and make create a distinctive neighbourhood character. This includes a mix of materials, predominantly red and buff brick but with some including elements of render to provide variety and interest to the scheme. Roof tiles would be either slate grey in colour, or terracotta. There is sufficient space within the site for all dwellings to be provided with private garden land, which equates to at least one third of the area of the curtilage, thereby complying with Policy LP16 (h) and at the requisite number of parking spaces contained within the adopted parking standards in Appendix A of the Local Plan.

10.11 Policy LP16 of the adopted Local Plan establishes requirements in respect of the proposed development for the provision of 6,705sqm of open space, of which 1,192sqm should comprise on-site children's play. The scheme exceeds the total requirement, with provision of 7,650sqm of public open space, comprising more than 25% of the total site area. Most of this area is to the west of the site within the areas of the site known to be within Flood Zone 3. Details of a Local Equipped Area for Play provision within this area have been provided and the location is identified between the two proposed attenuation basins. As well as the main area of open space pockets of green space are dotted throughout the scheme. The proposed landscaping details incorporate native species selected to maximise the

biodiversity potential of the proposed areas of shrub planting, native hedgerows, amenity grass areas and wildflower seeded areas, with extensive tree planting.

- 10.12 The scheme provides well-proportioned living spaces and external amenity space to each plot, with appropriate separation distances and orientation of dwellings to ensure privacy and avoid any issues of overbearing or overshadowing between units. Appropriate separation distances are provided between all proposed dwellings, and between proposed dwellings and existing dwellings neighbouring the site. As a result, the scheme achieves a high standard of residential amenity for both neighbours and future residents of the scheme.
- 10.13 The application is supported by a Residential Planning Noise Assessment, based on the results of an environmental noise survey. This concludes that there should be no adverse impacts as a result of the proposed development in respect of noise subject to mitigation measures such as enhanced glazing on certain dwellings and fencing, which the Environmental Health Officer has advised should be required to be implemented by a planning condition.
- 10.14 In conclusion it is considered that the proposals comply with relevant criteria in Local Plan policy LP16.

Access, Highways and Transport related matters

- 10.15 Local Plan Policy LP15 (Facilitating the Creation of a More Sustainable Transport Network in Fenland) sets out a vision for a sustainable transport strategy which it expects all development to feed into LP15 (C) requires all development to demonstrate that they have regard to 6 criteria including;
- Maximising accessibility to increase the use of non-car modes,
 - Ensuring development which includes new public highway accords with the character of an area
 - Development likely to result in significant transport impacts should be supported by a Transport Assessment and Travel Plan,
 - Development of 50+ dwellings should demonstrate how it contributes to the Market Town Transport Strategy
 - Providing safe, convenient and effective access for all with priority for non-car modes of transport and habitat connectivity where opportunities exist giving easy access and permeability to adjacent areas
 - Providing well-designed car and cycle parking having regard to the parking standards set out in Appendix A of the Local Plan.
- 10.16 Policy LP15 sets out that any development that has transport implications will not be granted permission without demonstration of deliverable mitigation which would make the development acceptable in transport terms.
- 10.17 The application is accompanied by a Transport Statement and Travel Plan which has been reviewed by CCC's Development Management and Transport Assessment Teams. The review of these documents assessed the proposal in terms of sustainability, accident data, site access, vehicular trip generation and future proofing and movement and accessibility. Considering the proposed intensification of use along West Street, proof was required that the carriageway on the approach to the site access from the north of 5 metres is present. The applicant subsequently produced a Width Review Plan showing this to be the case.

10.18 Collectively the Highway Authority has no objections subject to conditions relating to footway works, binder course, wheel wash facilities and the provision and implementation of Welcome Travel Packs for new residents on occupation. As such, the advice received suggests that the proposals accord with the aims of LP15 in demonstrating that it assists with the sustainability aims of the Local Plan.

Flood risk and drainage

10.19 Part B of Local Plan Policy LP14 (Responding to Climate Change and Managing the Risk of Flooding in Fenland) advocates development proposals should adopt a sequential approach to flood risk from all forms of flooding. Environment Agency Flood maps show that the majority of the site is within Flood Zone 1 (least risk), whilst the western and some of the southern parts of the site are within Flood Zone 3 (highest risk). A site-specific Flood Risk Assessment demonstrates that the layout presented shows no built development within the site boundary, including access or escape routes, land raising or other potentially vulnerable elements, would be located on an area that would be at risk of flooding from any source, now and in the future. In line with paragraph 175 of the NPPF this means that there is no requirement to undertake a Sequential Test. The Environment Agency response notes that they have reviewed the submitted Flood Risk Assessment with regard to tidal and designated main river flood risk sources and consider that the site is at low risk of flooding from these sources. As such, they go on to say that they have no objection to the proposed development on flood risk grounds.

10.20 With regard to surface water drainage, this would be managed within the site through the use of permeable paving and two linked attenuation basins on the west of the site, restricting surface water discharge. In their response the Local Lead Flooding Authority having reviewed the submitted Drainage Strategy and associated plans and details is supportive of the use of permeable paving as in addition to controlling the rate of surface water leaving the site, it also provides water quality treatment which is of particular importance when discharging into a watercourse. Their response states that the attenuation basins provide amenity whilst the inclusion of micro pools enhances biodiversity and water quality.

10.21 With regard to foul water drainage this would be via mains drainage and Anglian Water in their response state that the foul drainage from this development is in the catchment of Chatteris-Nightlayer Fen Water Recycling Centre and that this has available capacity for these flows.

10.22 In light of all the above it is considered that the proposals submitted have been designed to ensure that the development is directed away from areas at highest risk and also ensures that flood risk is not increased elsewhere. Therefore, the proposals comply with the requirements of Part B of Local Plan Policy LP14.

Ecology and Biodiversity Net Gain (BNG)

10.23 The application has been accompanied by a Habitat and Protected Species Reporting, including a supplementary report concerning Water Vole given the presence of ditches to the site. An evaluation of these surveys by the County Ecologist notes that they are satisfied that the scheme would have no impact of the scheme on water vole.

10.24 The Environment Act 2021 requires development proposals to deliver a statutory

10% net gain in biodiversity following a mitigation hierarchy which is focused on avoiding ecological harm over minimising, rectifying, reducing and then off-setting

- 10.25 This approach accords with Local Plan policies LP16 and LP19 which outlines a primary objective for biodiversity to be conserved or enhanced and provides for the protection of Protected Species, Priority Species and Priority Habitat.
- 10.26 There are statutory exemptions, transitional arrangements and requirements relating to irreplaceable habitat which mean that the biodiversity gain condition does not always apply. In this instance, one or more of the exemptions / transitional arrangements are considered to apply and a Biodiversity Gain Condition is not required to be approved before development is begun because the application was submitted prior to the requirement for statutory net gain coming into force. Nevertheless, the biodiversity metric shows an increase of 12% BNG for habitats and 149% increase in hedgerows and the latest email of 20th December 2024 from the County Ecologist states that concerns on how this would be achieved have now been met, subject to conditions securing the delivery of the BNG targets.

Affordable housing, community infrastructure and viability matters

- 10.27 The scheme comprises 100% affordable housing. In this regard the scheme would provide a substantial contribution towards the Council's affordable housing needs notwithstanding housing stock in general. The Council's Housing team has indicated support for the scheme and the delivery of affordable housing could be reasonably secured via a Section 106 planning obligation. The Section 106 will have a built-in flexibility in relation to the tenure mix rather than changing the tenure mix via a tenure plan.
- 10.28 In respect of other infrastructure contributions, the Council's adopted Developer Contributions Supplementary Planning Document states that planning obligations will not normally be sought from affordable housing schemes (other than the provision of the homes themselves). In this regard therefore, whilst the NHS, Ambulance Service, and CCC Education and Library Service requested financial sums, this is not sought in this case due to the nature of the houses in the application.
- 10.29 As such, the proposal complies with policy LP5 which requires a Section 106 agreement to secure the affordable housing proposed.

11 CONCLUSIONS

- 11.1 The principle of a development of this scale is acceptable in this location being on the edge of an 'Other Market Town', adjacent to the built area and is therefore compliant with relevant Local Plan policy LP3. Whilst Chatteris has exceeded its approximate housing target for the Local Plan period through completions and extant permissions, this figure is not a ceiling and the proposal would increase the supply of housing and much needed affordable housing.
- 11.2 The site layout, building design and amenity considerations are considered acceptable, together with other matters reviewed by consultees in relation to highways, flooding, ecology, biodiversity net gain, drainage and environmental

health matters. The Council's adopted Developer Contributions Supplementary Planning Document allows for affordable housing schemes to be granted without planning obligations for other community infrastructure.

- 11.3 Having regard to national and local planning policies, and all comments received, and subject to the resolution of the Section 106 legal agreement, it is considered that the proposal would, on balance, amount to sustainable development and would accord with the Development Plan taken as a whole. There are no material considerations worthy of sufficient weight that indicate that a decision should be made other than in accordance with the Development Plan. Accordingly, the conclusion reached is that the development should be approved

12 RECOMMENDATION

- 12.1 Members are recommended to APPROVE the application in accordance with the following terms;
1. The Committee delegates authority to finalise the terms and completion of the Section106 legal agreement and planning conditions to the Head of Planning; and,
 2. Following the completion of the Section106 agreement, application F/YR23/0940/F be approved subject to planning conditions, an indicative list of these is set out in principle at Appendix 1 below; or,
 3. The Committee delegates authority to refuse the application in the event that the Applicant does not agree any necessary extensions to the determination period to enable the completion of the Section 106 legal agreement or on the grounds that the applicant is unwilling to complete the obligation necessary to make the development acceptable.

Appendix 1 - Proposed Draft Conditions

1	<p>Start date to implement permission The development permitted shall be begun before the expiration of 3 years from the date of this permission.</p> <p>Reason: To ensure compliance with Section 51 of the Planning and Compulsory Purchase Act 2004.</p>
2	<p>Construction Environmental Management Plan No development shall commence until a site wide Construction Environmental Management Plan (CEMP) has been submitted to and approved in writing by the local planning authority. The CEMP shall include the consideration of the following aspects of demolition and construction works:</p> <p>a) Construction and phasing programme. b) Contractors' access arrangements for vehicles, plant and personnel including the location of construction traffic routes to, from and within the site, details of their signing, monitoring and enforcement measures.</p>

	<p>c) Construction hours which shall be carried out between 0800 hours to 1800 hours Monday to Friday, and 0800 hours to 1300 hours on Saturday and at no time on Sundays, Bank or Public Holidays, unless in accordance with agreed emergency procedures for deviation.</p> <p>d) Delivery times and collections / dispatches for construction purposes shall be carried out between 0800 to 1800 hours Monday to Friday, 0800 to 1300 hours on Saturdays and at no time on Sundays, bank or public holidays, unless otherwise agreed in writing by the Local Planning Authority</p> <p>e) Soil Management Strategy having particular regard to potential contaminated land and the reuse and recycling of soil on site, the importation and storage of soil and materials including audit trails.</p> <p>f) Noise impact assessment methodology, mitigation measures, noise monitoring and recording statements in accordance with the provisions of BS 5228-1:2009+A1:2014 Code of Practice for noise and vibration control on construction and open sites.</p> <p>g) Vibration impact assessment methodology, mitigation measures, monitoring and recording statements in accordance with the provisions of BS 5228-2:2009+A1:2014 Code of Practice for noise and vibration control on construction and open sites. Details of any piling construction methods / options, as appropriate.</p> <p>h) Dust mitigation, management / monitoring and wheel washing measures in accordance with the provisions of Control of dust and emissions during construction and demolition, and road sweepers to address depositing of mud on immediate highways.</p> <p>i) Use of concrete crushers.</p> <p>j) Prohibition of the burning of waste on site during demolition/construction.</p> <p>k) Site artificial lighting including hours of operation, position and impact on neighbouring properties.</p> <p>l) Drainage control measures including the use of settling tanks, oil interceptors and bunds.</p> <p>m) Screening and hoarding details.</p> <p>n) Access and protection arrangements around the site for pedestrians, cyclists and other road users.</p> <p>o) Procedures for interference with public highways, including permanent and temporary realignment, diversions and road closures.</p> <p>p) External safety and information signing and notices.</p> <p>q) Implementation of a Stakeholder Engagement/Residents Communication Plan, Complaints procedures, including complaints response procedures.</p> <p>The approved CEMP shall be adhered to throughout the demolition and/or construction period and must demonstrate the adoption of best practice to reduce the potentially adverse effects on those living and working nearby the development site, whilst also acknowledging the health, safety and welfare of those working on site. The CEMP should be in accordance with the template on the Fenland District Council website via the following link: https://www.fenland.gov.uk/planningforms</p> <p>Reason: In the interests of safe operation of the highway and protection of residential amenity in accordance with policy LP15, LP16 and LP19 of the Fenland Local Plan (2014).</p>
3	<p>Surface water drainage details</p> <p>No laying of services, creation of hard surfaces or erection of a building shall commence until a detailed design of the surface water drainage of the site</p>

has been submitted to and approved in writing by the Local Planning Authority. Those elements of the surface water drainage system not adopted by a statutory undertaker shall thereafter be maintained and managed in accordance with the approved management and maintenance plan.

The scheme shall be based upon the principles within the agreed

- Technical Note, JPP Consulting LTD, Ref: 26065 / LC / 004, Dated: 24th October 2024
- Preliminary Drainage Strategy, JPP Consulting LTD, Ref: 26065 – 103, Rev: H, Dated: 5th June 2024
- Drained Layout Areas, JPP Consulting LTD, Ref: 26065 – 104, Rev: F, Dated: 5th June 2024
- Adoptable Drainage Construction Details, JPP Consulting LTD, Ref: 26065 – 105, Rev: C, Dated: 18th December 2023
- Surface Water Exceedance Flow Routing Plan, JPP Consulting LTD, Ref: 26065 – 107, Rev: B, Dated: 5th June 2024
- Detention Basin Cross Sections, JPP Consulting LTD, Ref: 26065 – 106, Rev: A, Dated: 2nd November 2024
- Flood Risk Assessment and Drainage Strategy, JPP Consulting LTD, Ref: RFRA-26065-01-B, Rev: B, Dated: April 2024
- FSR and FEH Hydraulic Calculations, JPP Consulting LTD, Ref: 26065, Dated: 7th June 2024
- Technical Note, JPP Consulting LTD, Ref: 26065 / LC / 001, Dated: 21st December 2024 and shall also include:

- a) Full calculations detailing the existing surface water runoff rates for the QBAR, 3.3% Annual Exceedance Probability (AEP) (1 in 30) and 1% AEP (1 in 100) storm events;
- b) Full results of the proposed drainage system modelling in the above-referenced storm events (as well as 1% AEP plus climate change), inclusive of all collection, conveyance, storage, flow control and disposal elements and including an allowance for urban creep, together with an assessment of system performance;
- c) Detailed drawings of the entire proposed surface water drainage system, attenuation and flow control measures, including levels, gradients, dimensions and pipe reference numbers, designed to accord with the CIRIA C753 SuDS Manual (or any equivalent guidance that may supersede or replace it);
- d) Full detail on SuDS proposals (including location, type, size, depths, side slopes and cross sections);
- e) Site Investigation and test results to confirm infiltration rates;
- f) Details of overland flood flow routes in the event of system exceedance, with demonstration that such flows can be appropriately managed on site without increasing flood risk to occupants;
- g) Demonstration that the surface water drainage of the site is in accordance with DEFRA non-statutory technical standards for sustainable drainage systems;
- h) Full details of the maintenance/adoption of the surface water drainage system;
- i) Permissions to connect to a receiving watercourse or sewer;
- j) Measures taken to prevent pollution of the receiving groundwater and/or surface water

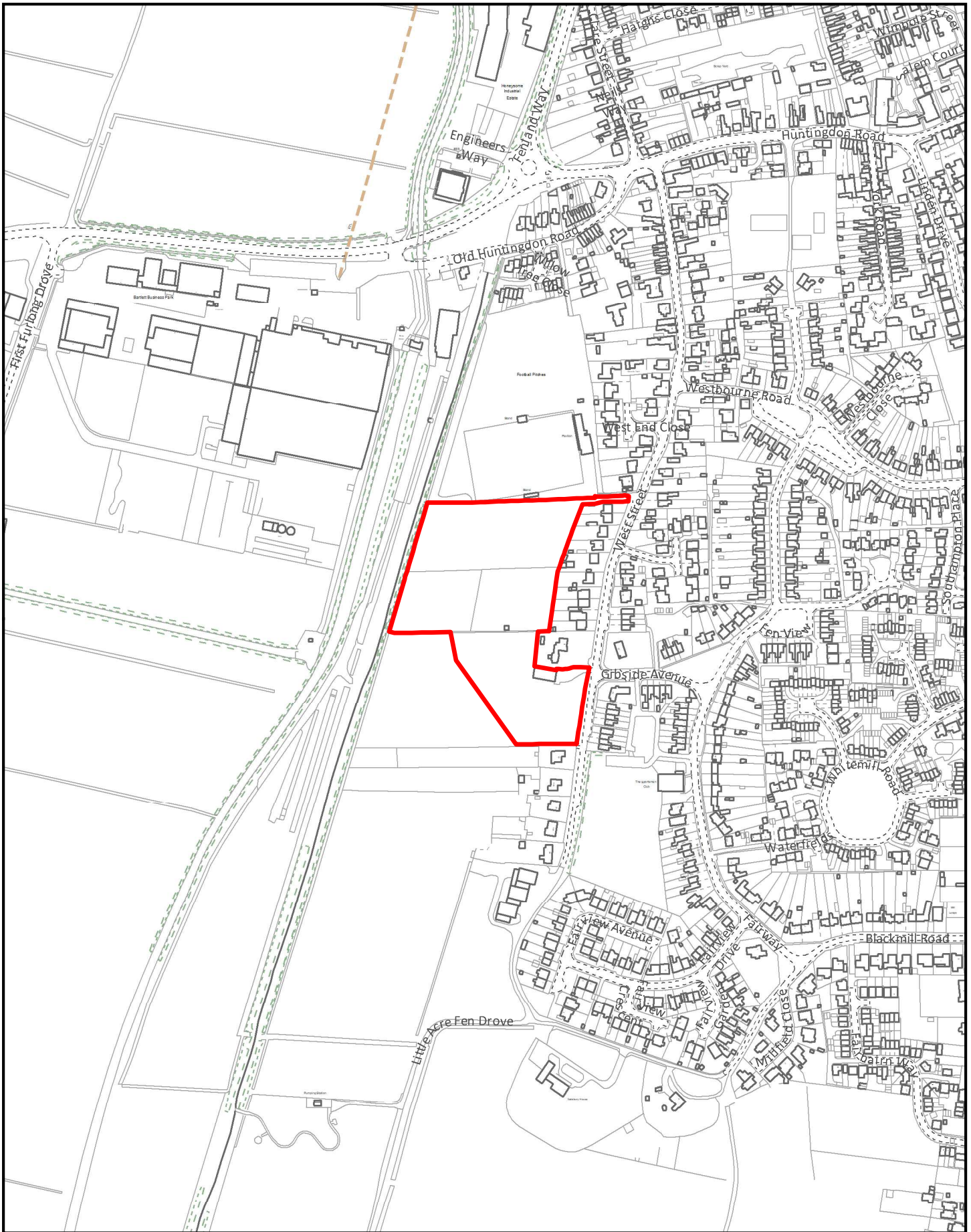
	<p>Reason: To ensure that the proposed development can be adequately drained and to ensure that there is no increased flood risk on or off site resulting from the proposed development and to ensure that the principles of sustainable drainage can be incorporated into the development, noting that initial preparatory and/or construction works may compromise the ability to mitigate harmful impacts.</p>
4	<p>Surface water run off measures during construction No development, including preparatory works, shall commence until details of measures indicating how additional surface water run-off from the site will be avoided during the construction works have been submitted to and approved in writing by the Local Planning Authority. The applicant may be required to provide collection, balancing and/or settlement systems for these flows. The approved measures and systems shall be brought into operation before any works to create buildings or hard surfaces commence.</p> <p>Reason: To ensure surface water is managed appropriately during the construction phase of the development, so as not to increase the flood risk to adjacent land/properties or occupied properties within the development itself; recognising that initial works to prepare the site could bring about unacceptable impacts.</p>
5	<p>Ground and floor level details Prior to commencement of development details of existing ground levels (in relation to an existing datum point), proposed finished floor levels and floor slab levels of the development shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out and thereafter retained in accordance with the approved details.</p> <p>Reason To ensure that the precise height of the development can be considered in relation to adjoining dwellings.</p>
6	<p>Arboricultural Method Statement No development, including preparatory works, shall commence until a detailed Arboricultural Method Statement for the development shall be submitted to and approved in writing by the Local Planning Authority. The development shall then be implemented in accordance with the measures identified within the approved Statement.</p> <p>Reason: To ensure the protection of trees on and adjacent to the site, during and post construction in accordance with Policies LP16 and LP19 of the Fenland Local Plan, 2014</p>
7	<p>External lighting Prior to development proceeding above slab level, a scheme for the provision of external lighting for the development shall be submitted to and approved in writing by the Local Planning Authority. Such a scheme shall include the access road and parking areas lit by columns to BS5489:1 2020 and security lights to dwellings dusk to dawn LED bulkhead lights. The approved details shall be implemented prior to the occupation of the dwelling to which they relate and be retained thereafter in perpetuity.</p> <p>Reason: In order to ensure that the site meets the crime prevention</p>

	guidelines in accordance with Policy LP17 of the Fenland Local Plan 2014.
8	<p>Final material details Prior to development proceeding above slab level, full details of the materials to be used in the development hereby approved for the walls and roof are submitted to and approved in writing by the Local Planning Authority. The details submitted for approval shall include the name of the manufacturer, the product type, colour and reference number. The development shall then be carried out in accordance with the approved details and retained in perpetuity thereafter.</p> <p>Reason: To safeguard the visual amenities of the area in accordance with Policy LP16 of the Fenland Local Plan 2014.</p>
9	<p>Landscaping implementation, management and maintenance details Notwithstanding the submitted details before development above slab level details of hard and soft landscaping, including the play area, and including a timetable for delivery shall be submitted and agreed in writing by the LPA. Development shall be carried out in accordance with the approved details. Any trees, shrubs or hedges forming part of the approved landscaping scheme (except those contained in enclosed rear gardens to individual dwellings) that die, are removed or become diseased within five years of the implementation of the landscaping scheme shall be replaced during the next available planting season by the developers, or their successors in title with an equivalent size, number and species to those being replaced.</p> <p>Reason: To ensure the landscaping proposals submitted are implemented managed and maintained in accordance with policy LP16(i) of the Fenland Local Plan, 2014.</p>
10	<p>Landscape and Ecological Management Plan A landscape and ecological management plan (LEMP) shall be submitted to and be approved in writing by the local planning authority prior development proceeding above slab level for each development phase. The content of the LEMP shall include the following:</p> <ul style="list-style-type: none"> a) Description and evaluation of features to be managed. b) Ecological trends and constraints on site that might influence management. c) Aims and objectives of management. d) Appropriate management options for achieving aims and objectives (including biodiversity net gain). e) Prescriptions for management actions. f) Preparation of the work schedule (including an annual work plan capable of being rolled forward over a 30 year period and BNG audit). g) Details of the body or organisation responsible for implementation of the plan. h) Ongoing monitoring and remedial measures. <p>The LEMP shall also include details of the legal and funding mechanism(s) by which the long term implementation of the plan will be secured by the development with the management body(ies) responsible for its delivery. The plan shall also set out (where the results from monitoring show that conservation aims and objectives of the LEMP are not being met) how contingencies and/or remedial action will be identified, agreed and</p>

	<p>implemented so that the development still delivers the fully functioning biodiversity objectives of the originally approved scheme.</p> <p>A 5 yearly report shall be submitted to the LPA confirming the progress of the LEMP and results of any monitoring work.</p> <p>The LEMP shall be implemented in accordance with the approved details and all features shall be retained in the manner thereafter in perpetuity.</p> <p>Reason: To ensure biodiversity is protected and enhanced in accordance with policies LP16 and LP19 of the Fenland Local Plan, 2014.</p>
11	<p>Fire Hydrants</p> <p>No development above slab level within a development phase shall take place until details for the provision of fire hydrants has been submitted to and approved in writing by the Local Planning Authority. The approved scheme shall be implemented before any dwelling within the respective development phase is occupied.</p> <p>Reason: To ensure a satisfactory form of development and in accordance with Policy LP16 of the Local Plan.</p>
12	<p>Contaminated land</p> <p>If, during development, contamination not previously identified is found to be present at the site then no further development (unless otherwise agreed in writing with the Local Planning Authority) shall be carried out until the developer has submitted, and obtained written approval from the Local Planning Authority detailing how this unsuspected contamination shall be dealt with. The development shall then be carried out in full accordance with the approved remediation strategy.</p> <p>Reason: To control pollution of land and controlled waters in the interests of the environment and public safety in accordance with the National Planning Policy Framework, in particular paragraphs 196 and 197, and Policies LP14 and LP16 of the Fenland Local Plan 2014.</p>
13	<p>Noise and ventilation measures</p> <p>The development shall be undertaken in accordance with the glazing, ventilation and fencing measures stipulated within the Residential Planning Noise Assessment report (Version 2) reference 100967-R01 dated 17 April 2024 submitted with the application.</p> <p>Reason: To manage and mitigate the risk to the amenity of new residents from existing sources of noise in accordance policy LP16(I) of the Fenland Local Plan, adopted 2014.</p>
14	<p>Welcome Travel Pack</p> <p>Prior to the first occupation of any dwelling within, a Welcome Travel Pack detailing sustainable travel for each dwelling shall be submitted to and approved in writing by the Local Planning Authority.</p> <p>The Welcome Travel Packs shall be distributed to the first occupants of each dwelling within and shall include the provision of active travel vouchers to promote sustainable travel.</p>

	<p>Reason: To encourage sustainable modes of travel in accordance with policy LP15 of the Fenland Local Plan, adopted 2014.</p>
15	<p>Footpath works Prior to first occupation the footway works as shown on the approved plans will be delivered in full.</p> <p>Reason: In the interests of highway safety and to ensure compliance with Policies LP15 and LP16 of the Fenland Local Plan, adopted May 2014.</p>
16	<p>Maintenance and Management of Public Areas Prior to occupation of any dwelling hereby permitted a management and maintenance plan for the shared/public areas (including open space landscaping, play area and lighting) shall be submitted to and approved in writing by the Local Planning Authority. The development shall be carried out as approved in accordance with the specified schedule contained therein.</p> <p>Reason: To ensure that the site meets the crime prevention guidelines in accordance with Policy LP17 and that the development is adequately maintained, managed and serviced in accordance with Policy LP16 of the Fenland Plan 2014</p>
17	<p>Parking provision and use Prior to the first occupation of the relevant dwelling hereby approved, the associated on-site parking shall be provided in accordance with the approved plans. Thereafter, these spaces shall be permanently retained and available for the parking of vehicles of occupiers for each dwelling of the approved scheme and shall not be used for any other purpose.</p> <p>Reason - In the interests of highway safety and in accordance with Policy LP15 of the Fenland Local Plan (2014).</p>
18	<p>Refuse Collection Strategy Prior to the first occupation of the development hereby approved a refuse collection strategy shall be submitted to and approved in writing by the Local Planning Authority. The approved refuse collection strategy shall be implemented in accordance with the agreed details in full and thereafter be retained in perpetuity unless otherwise agreed in writing.</p> <p>Reason: To ensure a satisfactory form of refuse collection and compliance with Policy LP16 of the Fenland Local Plan 2014.</p>
19	<p>Binder course Prior to the first occupation of any dwelling the road(s), footway(s) and cycleway(s) required to access that dwelling shall be constructed to at least binder course surfacing level from the dwelling to the adjoining County road in accordance with the details approved on ^IN.</p> <p>Reason: In the interests of highway safety and to ensure compliance with Policies LP15 and LP16 of the Fenland Local Plan, adopted May 2014.</p>
20	<p>Post construction surface water drainage survey Upon completion of the surface water drainage system, including any</p>

	<p>attenuation ponds and swales, and prior to their adoption by a statutory undertaker or management company; a survey and report from an independent surveyor shall be submitted to and approved in writing by the Local Planning Authority. The survey and report shall be carried out by an appropriately qualified Chartered Surveyor or Chartered Engineer and demonstrate that the surface water drainage system has been constructed in accordance with the details approved under the planning permission. Where necessary, details of corrective works to be carried out along with a timetable for their completion, shall be included for approval in writing by the Local Planning Authority. Any corrective works required shall be carried out in accordance with the approved timetable and subsequently re-surveyed by an independent surveyor, with their findings submitted to and approved in writing by the Local Planning Authority.</p> <p>Reason: To ensure the effective operation of the surface water drainage scheme following construction of the development.</p>
21	<p>Compliance with approved plans and documents The development hereby permitted shall be carried out in accordance with the approved plans and documents:</p>



Created on: 16/11/2023

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F/YR23/0940/F

Scale = 1:5,000

N

Fenland District Council

Proposed Site Layout

Scale: 1:500

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Source File: 21002 Model.dwg

Rev	Date	Drawn	Note
P02	18/07/2023	JKG	Drawing status updated to 'Planning'. Disclaimer amended.
P03	03/10/2023	JKG	Highway amended, planting / screening shown, house types amended, SoA updated, LEAP added. Plots 16-18 moved away from rear boundary. Plot 29 re-orientated.
P04	12/03/2024	JKG	Site access and note added. Landscaping updated.
P05	18/04/2024	JKG	Plots 36-45 amended.
P06	08/05/2024	JKG	Substation added.
P07	03/07/2024	JKG	Substation relocated.
P08	31/10/2024	JKG	
P09	13/11/2024	JKG	



Key

- Application site boundary
- Proposed Housing
- Existing Surrounding Buildings
- Private Rear Garden Area
- Public Open / Green Space
- Principal Highway / Road
- Private Drive
- Car Parking Spaces
- Pedestrian Footpaths
- Drainage Easement
- Proposed Tree Planting (indicative only - to be designed and specified by Landscape Architect)
- Proposed Hedge / Shrub Planting (indicative only - to be designed and specified by Landscape Architect)
- Housetypes - Primary Point of Access
- Primary Site Access

schedule of accommodation

housetype	code	area	quantity
2B4P House	A	70m ²	22 no. units
2B4P House	B	74m ²	07 no. units
3B5P House	C	82m ²	12 no. units
3B5P Det. House	D	90m ²	04 no. units
3B5P Det. House	E	90m ²	03 no. units
4B6P House	F	96m ²	06 no. units
2B3P Bungalow	G	60m ²	04 no. units
2B3P Bungalow	H	63m ²	02 no. units
3B5P House	J	88m ²	10 no. units

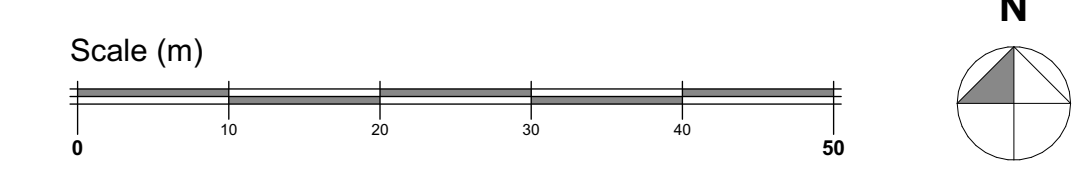
Total Number of Units : 70 no. units

approximate site area : 2.98Ha / 7.36 acres

density : 23.2 dwellings per hectare

open space : 0.765Ha

parking provision : 300% / 200% / 100%



Client: Minster Property Group Ltd.

Project Title: Proposed Residential Development at Land off West Street, Chatters

Drawing Title: Proposed Site Layout

Drawing Status: Planning

Scale: 1:500
 Drawn: JKG
 Project Number: 21002
 Drawing Number: 0102
 Revision: P09

Original Paper Size: A1
 Date: 14.07.23
 Revision: P09

Indicative Street Elevations

Scale: 1:200

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Source File:
21002 Model.rvt

Rev	Date	Drawn	Note
P02	03/10/2023	JKG	Disclaimer amended.



1. Elevation A



2. Elevation B



3. Elevation C



Client
Minster Property Group Ltd.

Project Title
Proposed Residential Development at Land off West Street, Chatteris

Drawing Title
Indicative Street Elevations

Drawing Status
Planning

Scales:
1:200

Drawn:
JKG

Project Number:
21002

Drawing Number:
0400

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A1

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18.07.23

Revision:
P02

